

Article 27-400 Commercial and Mixed-Use Districts

SECTION 27-401 DISTRICTS ESTABLISHED

The commercial and mixed-use zoning districts are established in Table 27-400.1.

TABLE 27-400-1. COMMERCIAL & MIXED-USE DISTRICTS

Symbol	Neighborhood District Name
CBD	Central Business District
DX	Downtown Support
CMU1	Corridor Mixed-Use 1
CMU2	Corridor Mixed-Use 2
NMU	Neighborhood Mixed-Use
NO	Neighborhood Office-Residential
CX	Heavy Commercial

SECTION 27-402 DISTRICT DESCRIPTIONS

Commercial and mixed-use districts are primarily intended to allow a mix of uses within appropriately scaled buildings to maintain and promote the desired physical character of the downtown and commercial nodes and corridors within the city.

A. CBD: CENTRAL BUSINESS DISTRICT

The CBD district is the downtown mixed-use core intended to continue the existing character of the highly walkable downtown commercial corridors with storefronts on the ground story and upper story residential, lodging, and office uses.

B. DX: DOWNTOWN SUPPORT

The DX district is intended primarily for use surrounding the (CBD) district and would accommodate highly walkable, higher intensity office and residential uses in support of the CBD.

C. CMU1: CORRIDOR MIXED-USE

The CMU1 district is intended to accommodate commercial and other uses along transportation corridors to promote development that is comfortably accessible via all modes of transportation, including motor vehicles, bicycles, and walking. Commercial uses in the CMU1 district may be somewhat larger in scale and more flexible than the neighborhood mixed-use district, including more auto-oriented uses such as gas stations. While ground stories along streets are intended for commercial uses, the upper stories could accommodate residential and/or office uses.

D. CMU2: CORRIDOR MIXED-USE AND COMMERCIAL CENTERS

The CMU2 district is similar in intent to CMU1, supporting commercial and other uses along transportation corridors to promote development that is comfortably accessible via all modes of transportation, including motor vehicles, bicycles, and walking. CMU2 differs from CMU1 as it is meant to accommodate larger-scale commercial, warehouse-style buildings, and other uses in multiple buildings on larger, deeper parcels along corridors. While ground stories along streets are intended for commercial uses, the upper stories could accommodate residential and/or office uses.

E. NMU NEIGHBORHOOD MIXED-USE

The NMU district is intended to accommodate a mix of uses, primarily located along neighborhood corridors, that are highly walkable and accessible to pedestrians. Includes ground story uses focused on daily needs primarily for adjacent neighborhood residents, such as corner stores, personal services, and small restaurants. Upper stories accommodate residential and/or office uses.

F. NO: NEIGHBORHOOD OFFICE

The NO district is intended to accommodate office and office/residential uses on neighborhood corridors and internal neighborhood locations where other commercial uses are inappropriate. This district is meant to be highly walkable and accessible to pedestrians and to fit well with the context of adjacent neighborhood residential buildings, when located on corners or block ends.

G. CX: HEAVY COMMERCIAL

The CX district is intended for heavy commercial, wholesale, warehouse-distribution facilities, and contractor commercial uses. This district allows outdoor storage and accommodates truck traffic. This district is intended to be located along corridors where proximity to residential and walkable mixed-use development is limited. Basic setback and height parameters apply.

SECTION 27-403 REGULATIONS APPLICABLE TO ALL COMMERCIAL AND MIXED-USE DISTRICTS

All buildings must comply with the general regulations of this section and the specific regulations per each district, unless otherwise expressly stated in this ordinance.

A. ALLOWED USES

Allowed uses are provided in Article 27-1000.

B. EXISTING BUILDINGS

Existing buildings are not required to meet these regulations except as defined in Article 27-1500.

C. SITE ACCESS

All lots shall have one lot line located fully on a public or approved private street right-of-way.

D. PERMANENT STRUCTURES

All buildings constructed in any commercial and mixed-use district must be of permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile, unless otherwise expressly stated in this code.

E. ACCESSORY STRUCTURE REGULATIONS

Accessory structures are subject to Article 27-1008, Accessory Uses, unless otherwise defined in these district regulations.

F. EXCEPTIONS AND EXEMPTIONS

The following exceptions and exemptions may apply to the district site and structure regulations. Use specific standards in Article 27-1000 are still applicable.

1. Administrative Relief. Article 27-1600 defines administrative relief applicable to the site and structure regulations. Additional administrative relief may be noted throughout this article.

2. **Outdoor Recreation Uses.** Outdoor parks and recreation and outdoor participant sports and recreation uses are exempt from compliance with district site and structure regulations, except that:
 - (a) If a building is incorporated, the building shall meet the regulations of either an accessory kiosk per 27-1000 or an allowed building type.
 - (b) Side and rear setbacks for any applicable district must be met.
3. **Utility Structures.** The following structures are not required to comply with site and structure regulations applicable to a specific district.
 - (a) Wireless communications facilities and uses 27-1000.
 - (b) Public and private utility stations, substations, and associated utility station facilities.
4. **Public, Civic, and Institutional Uses.** Public, civic, and institutional uses allowed in the district are required to meet the district site and structure regulations, except the following applies:
 - (a) The minimum dimension of any build-to zone shall be treated as a minimum setback.
 - (b) Minimum heights are not required. Heights above the maximum allowed may be approved through Administrative Relief approval, based upon similar civic structures on similar lots in the surrounding neighborhood.
 - (c) Window, front door, and roof regulations are not required.

G. YARD TREATMENT

All yards must consist of landscape areas, patio space, or sidewalk space, unless otherwise expressly stated. Paved vehicular areas are limited to specific locations per the applicable district site and structure regulations. Driveways may cross through yards as follows:

1. Where permitted as access to the lot, driveways may cross perpendicularly through the front or street side yards, except as otherwise expressly stated.
2. In all commercial and mixed-use districts, driveways may cross perpendicularly through the side and rear yards to connect to parking on adjacent lots.
3. **Side Yard Parking Lots.** Some districts permit side yard parking lots. Side yard parking lots must not encroach on the front yard and must not encroach upon the minimum side setback, except as otherwise expressly stated.
4. **Rear Yards.** Paved vehicular areas (parking lots, loading areas, drives) are typically required to be located in the rear yard; however, minimum rear yard setbacks also apply to parking lots, unless otherwise stated.

H. FRONT AND SIDE STREET FRONTAGES

Per the district regulations, certain site and structure regulations apply to building facades and edges along front and side streets. For example, windows and a principal entrance may be required, or parking locations, driveways, and garage entrances may be restricted along these street frontages. Front lot lines must be provided as follows:

1. **Establishment.** All parcels must have a front lot line established by one of the following methods.
 - (a) For lots with only one lot line abutting a street, that lot line shall be the front lot line.
 - (b) For lots on corners, front lot lines are established by the Zoning Coordinator, based upon an approved Planned Neighborhood District (PND), the street classification, or the orientation of adjacent and abutting buildings.

- (c) For CMU1 and CMU2 districts, when a new street is established perpendicular to a front street listed above, the Zoning Coordinator may approve the use of the new street for the front lot line, provided the new perpendicular street is at least 300 feet in length, connects to another street at both ends, provides a second way out of the development, and is treated with streetscape, sidewalks, and on-street parking.
 - (d) For NMU or NO districts located on corners of primarily residential neighborhoods, the side street is the preferred location of the front lot line with the intent of locating business entrances off side streets as opposed to sharing the front street with residential entrances.
 - (e) Multiple Front Streets. If multiple front streets abut a lot, the front line may be designated by the Zoning Coordinator, considering the following:
 - (1) The configuration of other parcels along the street, including fronts of buildings and locations of vehicular access, are more consistent with street-side lot line requirements; and
 - (2) No plans for front street designation in the future exist for the proposed street-side frontage.
2. Open Space Frontage. Where a lot or parcel contains or abuts open space designated as a P1 district, the frontage of a building abutting the open space must comply with front lot line requirements.
 3. Main Parking Lots. Where a main parking lot is internal to a site, the facades fronting the main parking lot must be treated as front facades.
 4. Through Lots. Where a lot extends between two front streets essentially parallel to each other, both frontages shall be treated as front lot lines.
 - (a) Where a commercial and mixed-use district double frontage lot is deeper than 120 feet and shares a front street with an N district, residential development shall be provided consistent with front lot line requirements for any NX district.
 - (b) Where a commercial and mixed-use district double frontage lot shares a front street with an N district, the rear of all buildings shall be screened from any front street by another building or landscape screening.
 5. Corners. At corners of buildings on streets, front lot line façade treatments, including, but not limited to, ground-story doors and windows must be continued around the corner along the side street for a minimum of 30 feet.

I. TRASH, RECYCLING, REFUSE LOCATIONS

Unless otherwise defined by the site and structure regulations, all trash, recycling, and other refuse areas must be located and treated as follows:

1. Trash, recycling, and other refuse areas must be located in the rear yard of the lot or in the alley with city approval.
2. When no rear yard exists or when the rear yard is less than 10 feet in depth, trash, recycling, and other refuse areas may be located in the rear portion of an interior side yard.
3. Trash, recycling, and other refuse areas may be located inside the building with access doors off the rear or interior side facade. Access doors must be opaque, screening a minimum of 80% of the opening.
4. See Article 27-1200 for required screening of trash, recycling, and other refuse areas.

J. FRONT ENTRANCES

The following applies only when required by the site and structure regulations for the district. Front building entrances shall be emphasized, adding interest to the building façade, through one or more of the following design features:

1. **Roof or Canopy.** The entrance is covered by a roof or canopy differentiating it from the overall building roof type.
2. **Porch.** The entrance is through a porch.
3. **Sidelights and Transom.** Sidelights and/or transom windows are included abutting the entrance door.
4. **Recessed or Projecting Bay.** The entrance is located in a separate bay of the building that is either recessed or projected from the front façade.
5. **Other Design.** Other designs adding emphasis and drawing attention to the entrance on the facade may be approved with a design exception.

K. ARTERIAL SETBACKS

Minimum arterial setbacks as follows apply to all commercial and mixed-use districts, except CBD and DX districts:

1. No building or structure shall be erected or maintained within 50 feet of the centerline of an arterial street. In addition, no required parking area or portion thereof, including driving aisles, shall be constructed or located within 40 feet of the centerline of an arterial street. Any new construction that increases the number of required off-street parking spaces, must locate these additional required parking spaces in areas that comply with these locational standards.
2. Approved signs and public use controls and systems, trees trimmed up eight feet and canopies with at least eight feet clearance, shall be permitted in this setback area. For the purpose of this subsection, canopies shall be defined as covers that are solely attached to and supported by the structure on which it is attached to and which can be removed without destroying any part of that supporting structure. This shall only apply to canopies attached to the principal structure.

The designation of a street as an arterial shall be recommended by the city engineer, or in conformity with the most recent urban transportation plan.

L. COMMERCIAL & MIXED-USE DISTRICTS ADJACENT TO NEIGHBORHOOD AND RESIDENTIAL USES

All commercial and mixed-use districts and uses located within 50 feet of any neighborhood residential zoning district, including a planned development that allows residential use, shall comply with these site development standards:

1. All buildings in excess of 30 feet in height shall be setback a minimum of 30 feet from a property line that adjoins a residential zone and a minimum of 10 feet from a property line that parallels but does not adjoin a residential zone.
2. All outdoor lighting, with the exception of signage, shall have full cutoff shields so no part of the fixture or lens projects below the cutoff shield. Light pole standards must be 15 feet in height or less. Height includes the fixture, the base and the supporting pole.
3. Mechanical equipment, including but not limited to air conditioning units, air handling units, back-up power generators, installed at ground level or on a roof must be fully screened from view. The screening shall be at least the height of the mechanical equipment. Mechanical equipment that generates or expected to generate noise in excess of 55 decibels within three feet of the equipment location must provide sound abatement or suppression, which may require the equipment to be enclosed in a structure.

4. Loading docks, if necessary or required by the operation, must be located the farthest distance practicable from the residential zone. However, if the property adjoins an arterial street, the loading dock must be set back far enough such that no trucks will be loading, unloading, or backing within the street. Loading shall be done from alleys when possible.
5. Outdoor storage of merchandise or equipment must be within an area enclosed with a sight-obscuring fence at least six feet in height that is architecturally coordinated in color and design with the building. Vehicle sales lots and plant materials may be displayed outside of an approved building or enclosed area so long as they are on the same site wherein the business displays the bulk of its goods for sale. Outside promotional displays are allowed during business hours only.
6. No fascia of a building or canopy may be internally illuminated.
7. No signs may be placed on a building wall that parallels a residential zone. No freestanding advertising signs may be placed within 30 feet of a property line that adjoins a residential zone or within 10 feet of a property line that parallels a residential zone.
8. No outdoor waste storage on the commercial or industrial property shall be located within 30 feet of a property line that adjoins a residential zone or within 10 feet of a property line that parallels a residential zone. This requirement shall not apply where the property is separated from a residential zone or residential use by an alley or street. All on-site solid waste storage shall be located within an area enclosed with a solid, masonry wall that is architecturally coordinated in color and design with the building.
9. No outdoor announcement system or music system, whether permanent or temporary, is allowed.
10. Existing developments that do not conform to one or more of these development standards, will follow the regulations as stipulated in Section 27-1100, Proportionate Compliance.

SECTION 27-404 CBD DISTRICT REGULATIONS

1. Development in the CBD district is subject to compliance with the regulations of general applicability specified in 27-403.
2. Any parking garage located along a street must contain occupiable building space along at least 30% of the ground floor of at least one street facade.

SECTION 27-405 DX DISTRICT

The following site and structure regulations apply to any lot in the DX district. Refer to 27-403 for general regulations applicable to all districts and Table 27-400.2, below, for regulations specific to this district, keyed to illustrations in Figure 27-400(1). See Article 27-1800 for definitions and information on how to measure the following regulations.

TABLE 27-400-1. SITE & STRUCTURE REGULATIONS

A. BUILDING SITING		REFERENCES
1	Build to Corner	required
2	Maximum Building Coverage (%)	85
3	Minimum Front Lot Line Coverage (%)	85 See 27-405.E for allowed courtyards.
4	Front Build-to Zone (feet)	5 to 15 See 27-403.H for location of front and street-side frontages.
5	Street-Side Build-to Zone (feet)	5 to 10 See 27-405.E for minimum pedestrian area
6	Minimum Side Setback (feet)	5; 10, if abutting N or NX district
7	Minimum Rear Setback (feet)	10 for parking, 20 for building; 0 if abutting an alley
B. PARKING SITING		
8	Surface or Accessory Parking Yard Location	Rear; limited side yard See 27-1300 for explanation of limited side yard parking.
9	Permitted Driveway Access Location Permitted Garage Entry Facade Location	Alley, side street, front street if no alley or side street is available Rear, side, or side street facade See 27-1300 for driveway access exceptions
10	Parking Location within Building	Allowed fully in any basement and behind required occupiable building space of all other stories See Occupied Building Space regulation below See 27-1800 for definition of basement.
11	Occupied Building Space along Front Facade, Minimum Depth (feet)	20 all full-story floors; not required in any basement or half story See 27-1800 for definition of Occupied Building Space.
C. HEIGHT		
12	Overall: Minimum Height (stories) Maximum Height (stories)	2 5; step-backs required within 50 feet of N or NX district See 27-405.E for stepped-back stories.
13	All Stories: Minimum Height (feet) Maximum Height (feet)	9 14 Stories are measured floor to floor.
D. WINDOWS, DOORS, ROOF		
14	Window & Door Coverage: All Stories Street Facades (%)	15 minimum per story Blank wall limitations apply to front facades per 27-1800 27-403.H requires front facade windows to turn corners.
15	Number of Front Entrances	Minimum 1 per every 120 feet of facade See 27-403.J for Front Entrance regulations.
16	Permitted Roof Types	Parapet, pitched, flat; tower permitted See 27-1800 for definition of roof types and exception for other allowed roof types.

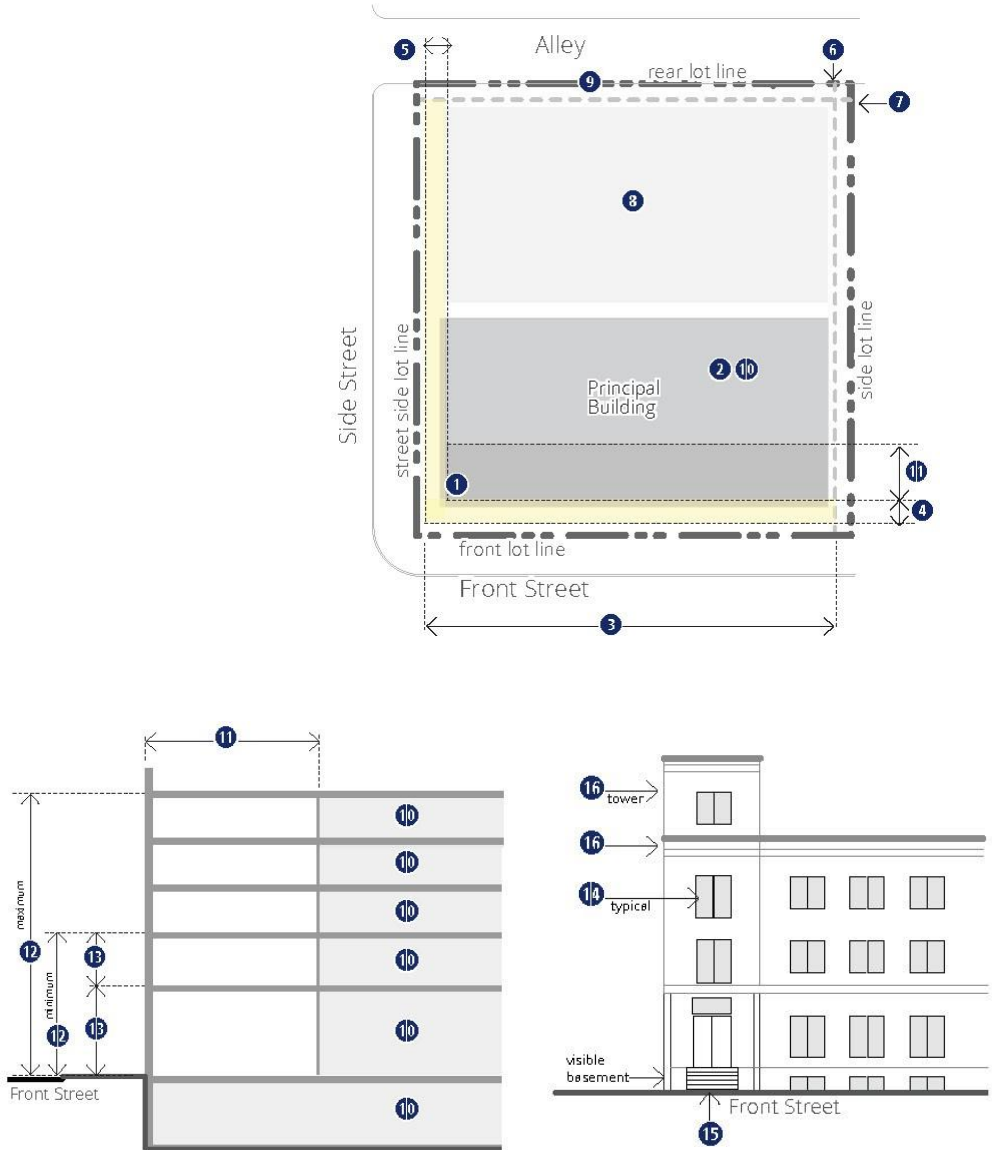


Figure 27-400(1). DX district diagrammatic plans and elevations.

B. Supplemental Regulations

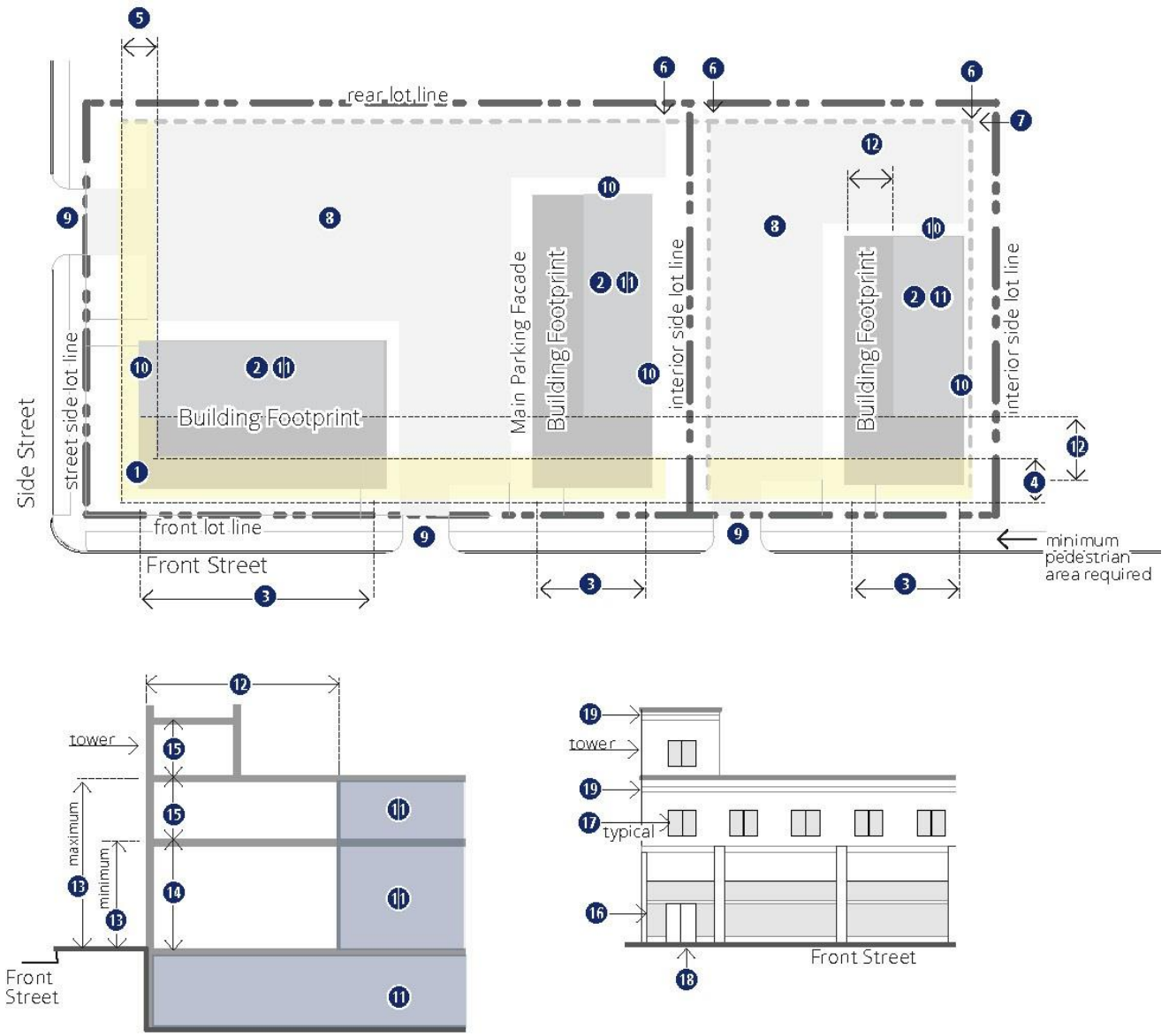
1. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary building frontage.
2. Height Step-Backs at N or NX Districts. Where N or NX zoning districts exist abutting the parcel or are located across an alley from the parcel, any story over the second story or over 35 feet above grade shall be set back from the rear property line a minimum of 50 feet. Frontage landscape buffer is required per Article 27-1200 where more than 10-foot ground story rear setback exists.
3. Minimum Pedestrian Frontage. When any front or street-side property line is within 8 feet or less of the back of curb, the build-to zone shall be measured from 8 feet off the back of curb to allow adequate pedestrian area.

SECTION 27-406 CMU DISTRICTS

The following site and structure regulations apply to any lot in the CMU districts. Refer to 27-403 for general regulations applicable to all districts and Table 27-400.3, below, for regulations specific to this district, keyed to illustrations in Figure 27-400(2). See Article 27-1800 for definitions and information on how to measure the following regulations.

TABLE 27-400-3. SITE & STRUCTURE REGULATIONS

A. BUILDING SITING		CMU1	CMU2	REFERENCES
1	Build to Corner	required		
2	Maximum Building Coverage (%)	65	50	
3	Minimum Front Lot Line Coverage (%)	65	50	See 27-406.E for allowed courtyards.
4	Front Build-to Zone (feet)	5 to 20	10 to 20	See 27-403.H for location of front and street-side frontages. See 27-403.K for arterial setback regulations. See 27-406.E for minimum pedestrian area
5	Street-Side Build-to Zone (feet)	5 to 20	5 to 20	
6	Side Setback (feet)	5 minimum; 10, if abutting N, NX, or RMH district		
7	Rear Setback (feet)	10 minimum; 25 if abutting N, NX, or RMH district		See 27-406.E for through lots.
B. PARKING SITING				
8	Surface or Accessory Parking Yard Location	Rear, internal, side		See 27-1800 for explanation of yards.
9	Permitted Driveway Access Location	See 27-1305 for driveway access locations.		
10	Permitted Garage Entry Facade Location	Rear, side, or street-side facade		
11	Parking Location within Building	Allowed fully in any basement and behind required occupied building space of all other stories		See Occupied Building Space regulation below in 12. See 27-1800 for definition of basement.
12	Occupied Building Space along Front Facade, Minimum Depth (feet)	20 all full-story floors; not required in any basement or half story		See 27-1800 for definition of Occupied Building Space.
C. HEIGHT				
13	Overall Stories: Maximum Height (stories)	4; step-backs required within 50 feet of N, NX, or RMH district		See 27-406.E for stepped-back stories.
14	Ground-Story: Minimum Height (feet)	12		See 27-406.E for allowable increased ground story height. Stories are measured floor to floor.
	Maximum Height (feet)	18		
15	Upper Stories: Minimum Height (feet)	9		
	Maximum Height (feet)	12		
D. WINDOWS, DOORS, ROOF				
16	Window & Door Coverage: Ground-Story Front Facades (%)	65 minimum between 2 and 8 feet above sidewalk		Blank wall limitations apply to front facades per 27-1800 27-403.H requires front facade windows to turn corners.
17	Window & Door Coverage: All Stories Front Facades (%)	15 minimum per story		
18	Number of Front Façade Entrances	Principal entrances 1 per every 60 feet of facade		See 27-403.J for Front Entrance regulations.
19	Permitted Roof Types	Parapet, pitched, flat; tower permitted		See 27-1800 for definition of roof types and exception for other roof types.



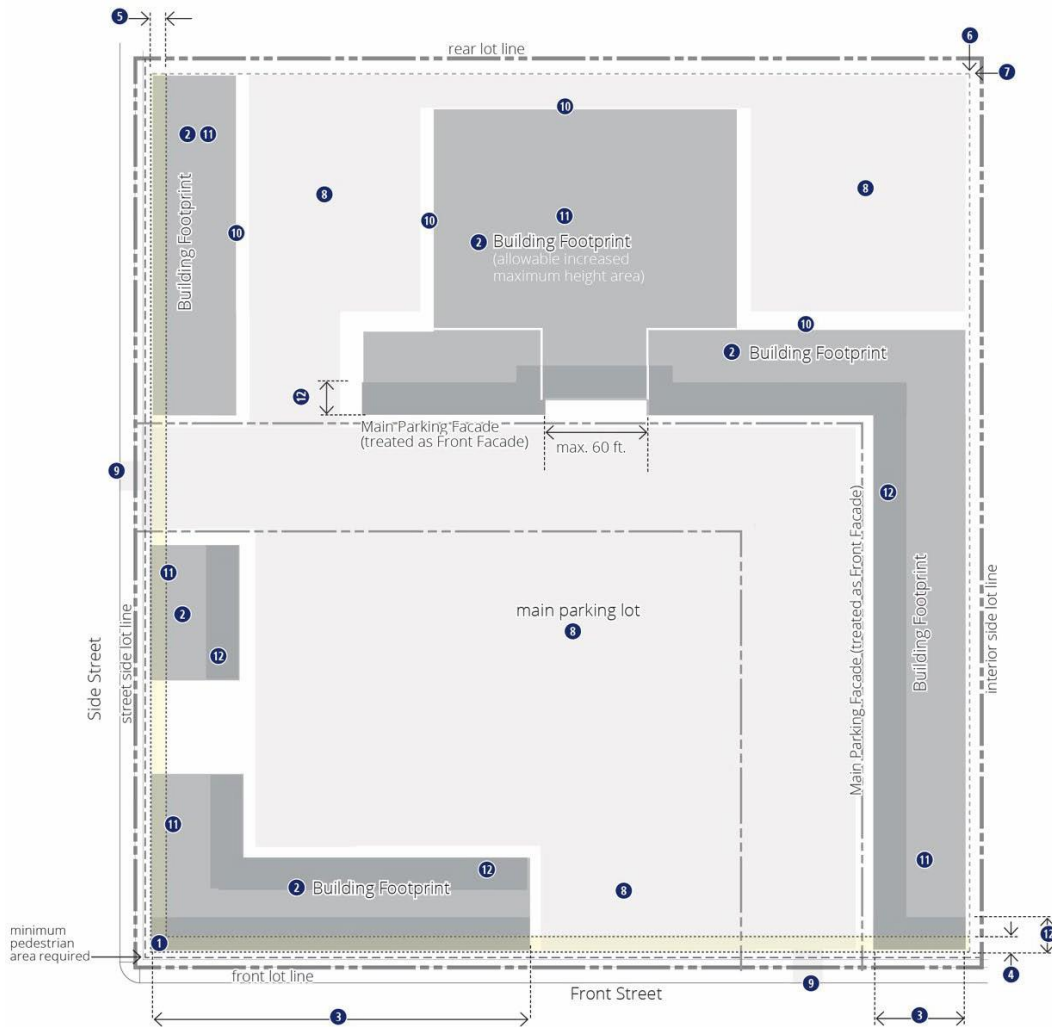


Figure 27-400(2). CMU district diagrammatic plans and elevations.

E. Supplemental Regulations

1. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary building frontage.
2. Minimum Pedestrian Frontage. When any front or corner property line is within 8 feet or less of the back of curb, the build-to zone shall be measured from 8 feet off the back of curb to allow adequate pedestrian area.
3. Height Step-backs at N, NX, RMH Districts. Where N, NX, or RMH zoning districts abut the parcel or are located across an alley from the parcel, any story over the second story or over 35 feet above grade shall be set back from the rear property line a minimum of 50 feet. Where the ground story is setback more than 10 feet from the rear lot line, the frontage landscape buffer is required per Article 27-1200. Refer to Figure 27-400(3).
4. Increased Ground Story Height. Maximum ground story height in CMU2 only may be increased up to 28 feet with a maximum horizontal length along any primary or main parking frontage of 60 feet. The 60-foot increment of increased height may occur once for every 140 feet of building frontage. Lower scaled commercial spaces may front the large-format space to achieve the maximum frontage and number of entrances required along the frontage.
5. Through Lots. Refer to 27-403.H.4

6. Pedestrian Pathway. In CMU2, direct, continuous separate pedestrian pathways are required connecting the sidewalk along the primary frontage to each shop door on the main parking lot frontage and dividing parking lots into segments no longer than 300 feet in length. The pathway shall include the following:
 - (a) Streetscape is required along the pedestrian pathway per Article 27-1200. Pavement shall be small unit pavers, concrete scored in less than 4-foot increments, or other similar material approved by the Zoning Coordinator.
 - (b) Perpendicular crossings of parking drives are permitted, but the pavement shall match the pathway.
 - (c) Parallel paths to parking shall be located in a raised median or island or a protected pathway.

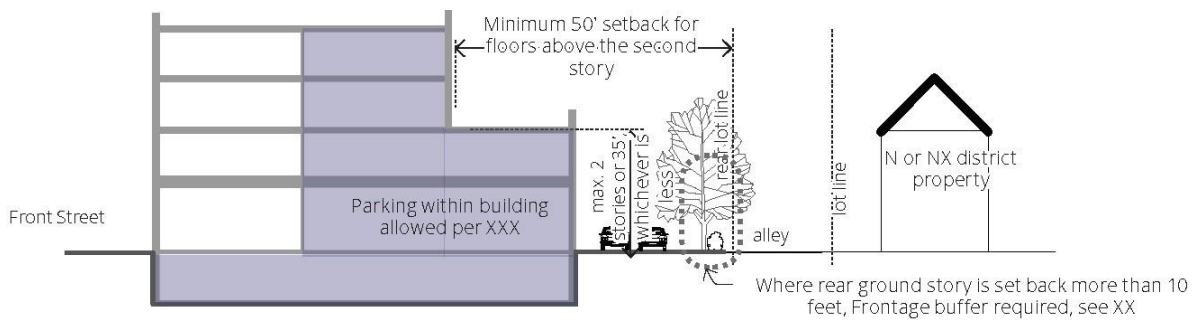


Figure 27-400(3). Height Step-Backs at N, NX, and RMH Districts.

SECTION 27-407 NMU DISTRICT

The following site and structure regulations apply to any lot in the NMU district. Refer to 27-403 for general regulations applicable to all districts and Table 27-407.4, below, for regulations specific to this district, keyed to illustrations in Figure 27-407(1). See Article 27-1800 for definitions and information on how to measure the following regulations.

TABLE 27-400-4. SITE & STRUCTURE REGULATIONS

A. BUILDING SITING		NMU	REFERENCES
1	Build to Corner	required	
2	Maximum Building Coverage	75	
3	Front Street Building Width (feet)	None	On corners in residential neighborhoods the side street may have the front lot line.
4	Minimum Front Lot Line Coverage (%)	90	See 27-407.E for allowed courtyards. On corners in residential neighborhoods the side street may have the front lot line.
5	Front Build-to Zone (feet)	5 to 20	See 27-403.H for location of front and street-side frontages. See 27-403.K for arterial setback regulations.
6	Street-Side Build-to Zone (feet)	5 to 20	See 27-407.E for minimum pedestrian area and expanded build-to zone with front yard parking.
7	Minimum Side Setback (feet)	5	
8	Minimum Rear Setback (feet)	5	See 27-407.E for through lots.
B. PARKING SITING			
9	Surface or Accessory Parking Yard Location & Configurations	Rear, limited side yard, limited front yard	See 27-1802.B for explanation of allowed parking configurations.
10	Permitted Driveway Access Location Permitted Garage Entry Facade Location	See 27-1305 for driveway access locations. Rear, side, or street-side facade	
11	Parking Location within Building	Allowed fully in any basement and behind required occupied building space of all other stories	See Occupied Building Space regulation below in 12. See 27-1800 for definition of basement.
12	Occupied Building Space along Front Facade, Minimum Depth (feet)	20 all full-story floors; not required in any basement or half story	See 27-1800 for definition of Occupied Building Space.
C. HEIGHT			
13	Overall Stories: Maximum Height (stories)	2	
14	Ground-Story: Minimum Height (feet) Maximum Height (feet)	10 16	
15	Upper Stories: Minimum Height (feet) Maximum Height (feet)	9 11	Stories are measured floor to floor.
D. WINDOWS, DOORS, ROOF			
16	Window & Door Coverage: Ground-Story Front Facades (%)	45 minimum between 2 and 8 feet above sidewalk	Blank wall limitations apply to front facades per 27-1800 27-403.H requires front facade windows to turn corners.
17	Window & Door Coverage: All Stories Front Facades (%)	15 minimum per story	
18	Number of Front Façade Entrances	Principal entrances 1 per every 60 feet of façade	See 27-403.J for Front Entrance regulations.
19	Permitted Roof Types	Parapet, pitched, flat; tower permitted	See 27-1800 for definition of roof types and exception for other allowed roof types.

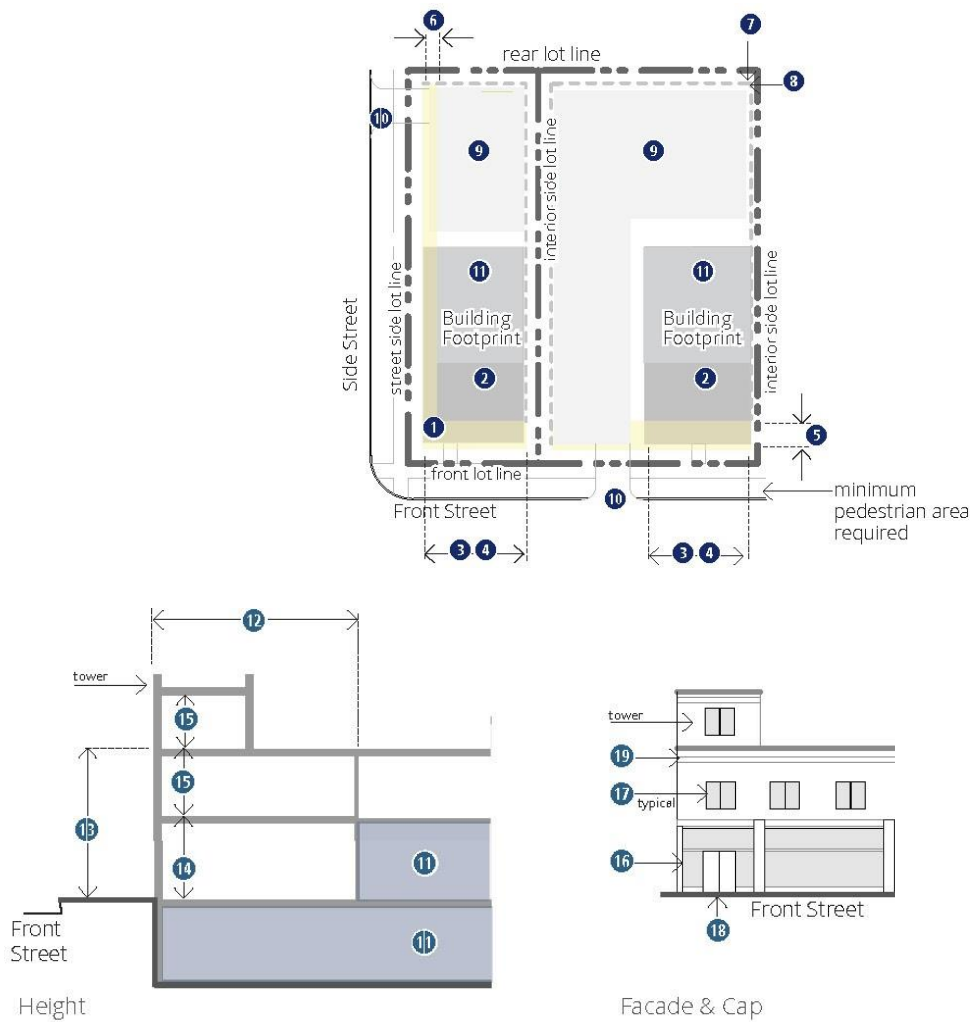


Figure 27-400(4). NMU district diagrammatic plans and elevations.

E. Supplemental Regulations

1. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary building frontage.
2. Minimum Pedestrian Frontage. When any front or corner property line is within 8 feet or less of the back of curb, the build-to zone shall be measured from 8 feet off the back of curb to allow adequate pedestrian area.
3. Front Yard Parking Expanded Build-to Zone. Where limited front yard parking is used, the build-to zone may be expanded to between 5 and 45 feet. Refer to 27-1802.B for explanation of limited front yard parking configuration.
4. Through Lots. Refer to 27-403.H.4.

The following site and structure regulations apply to any lot in the NO district. Refer to 27-403 for general regulations applicable to all districts and Table 27-400.5, below, for regulations specific to this district, keyed to illustrations in Figure 27-400(5). See Article 27-1800 for definitions and information on how to measure the following regulations.

TABLE 27-400-5. SITE & STRUCTURE REGULATIONS

A. BUILDING SITING			REFERENCES
1	Build to Corner	required	
2	Maximum Building Coverage	75	
3	Front Street Building Width (feet)	None; 120 maximum in residential neighborhoods with N or NX district zoning adjacent or abutting	On corners in residential neighborhoods the side street may have the front lot line. See 27-403.H for location of front and street-side frontages. See 27-403.K for arterial setback regulations. See 27-408.E for minimum pedestrian area.
4	Front Setback (feet)	10	
5	Street-Side Setback (feet)	8	
6	Minimum Side Setback (feet)	8	
7	Minimum Rear Setback (feet)	5 for parking and 20 for building; 0 if abutting an alley	See 27-408.E for through lots.
B. PARKING SITING			
8	Surface or Accessory Parking Yard Location & Configurations	Rear, limited side yard, limited front yard	See 27-1802.B for explanation of allowed parking configurations.
9	Permitted Driveway Access Location	See 27-1305 for driveway access locations.	
	Permitted Garage Entry Facade Location	Rear, side, or street-side facade	
10	Parking Location within Building	Allowed fully in any basement and behind required occupied building space of all other stories	See Occupied Building Space regulation below in 11.
11	Occupied Building Space along Front Facade, Minimum Depth (feet)	20 all full-story floors; not required in any basement or half story	See 27-1800 for definition of Occupied Building Space.
C. HEIGHT			
12	Overall Stories: Maximum Height (stories)	2.5	
13	All Stories: Minimum Height (feet)	9	Stories are measured floor to floor.
	Maximum Height (feet)	12	
D. WINDOWS, DOORS, ROOFS			
14	Window & Door Coverage: All Stories Front Facades (%)	15 minimum per story	Blank wall limitations apply to front facades per 27-1800.
15	Number of Front Façade Entrances	One principal entrance per every 120 feet of front façade	See 27-403.K for Front Entrance regulations.
16	Permitted Roof Types	Parapet, pitched; tower permitted	See 27-1800 for definition of roof types and exception for other allowed roof types.

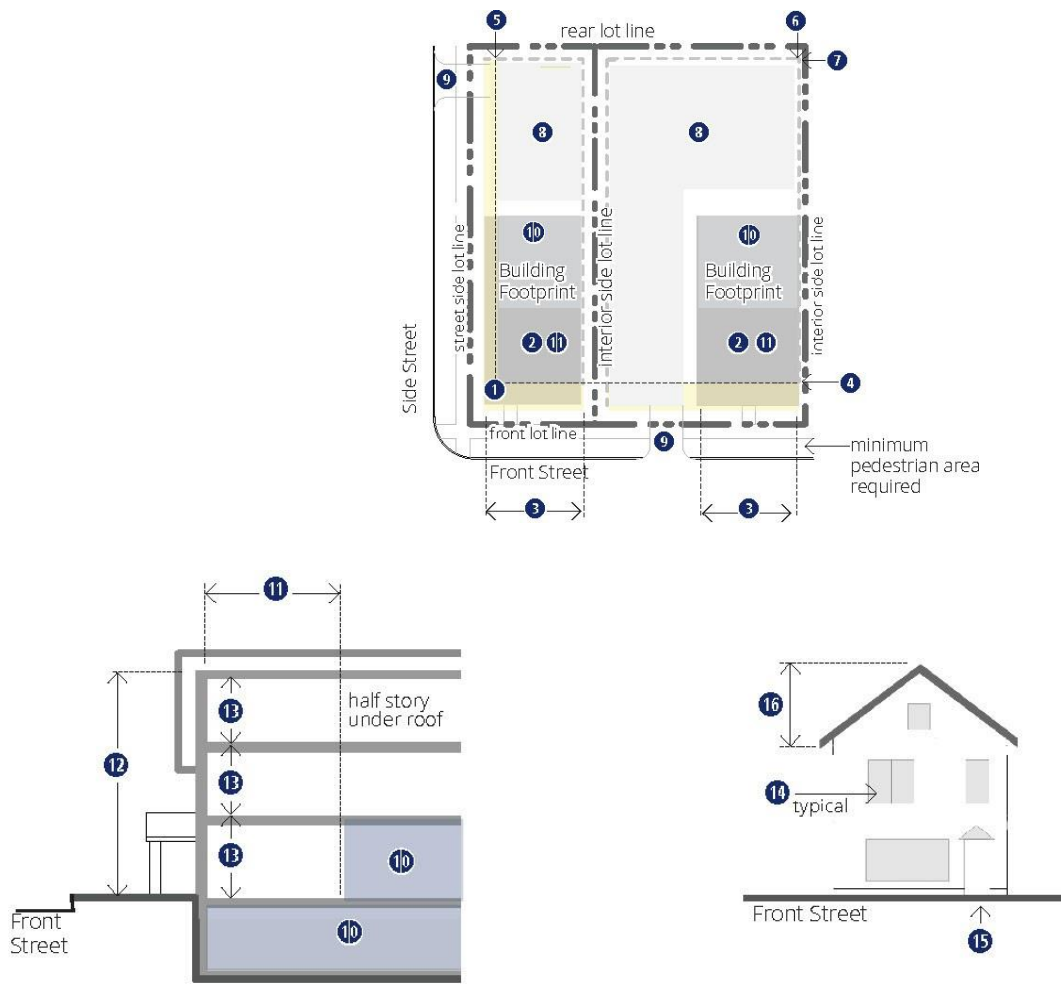


Figure 27-400(5). NO district diagrammatic plans and elevations.

E. Supplemental Regulations

1. Minimum Pedestrian Frontage. When any front or corner property line is within 8 feet or less of the back of curb, the build-to zone shall be measured from 8 feet off the back of curb to allow adequate pedestrian area.
2. Through Lots. Refer to 27-403.H.4.

SECTION 27-409 CX DISTRICT

The following site and structure regulations apply to any lot in the CX districts. Refer to 27-403 for general regulations applicable to all districts and Table 27-400.6, below, for regulations specific to this district, keyed to illustrations in Figure 27-400(6). See Article 27-1800 for definitions and information on how to measure the following regulations.

TABLE 27-400-6. SITE & STRUCTURE REGULATIONS

A. BUILDING SITING			REFERENCES
q	Maximum Building Coverage (%)	50	
w	Front Setback (feet)	20 minimum	See 27-403.K for arterial setback regulations
e	Street-Side Setback (feet)	10 minimum	
r	Side Setback (feet)	0; 10 minimum if abutting N, NX or RMH district	
t	Rear Setback (feet)	10 minimum ; 0 if abutting an alley	
B. PARKING SITING			
y	Surface or Accessory Parking Yard Location	Side or Rear	
u	Loading Location	Rear, Interior Side	
i	Permitted Driveway Access Location	See 27-1305 for driveway access locations.	
C. HEIGHT			
o	Overall: Maximum Height (feet)	60	

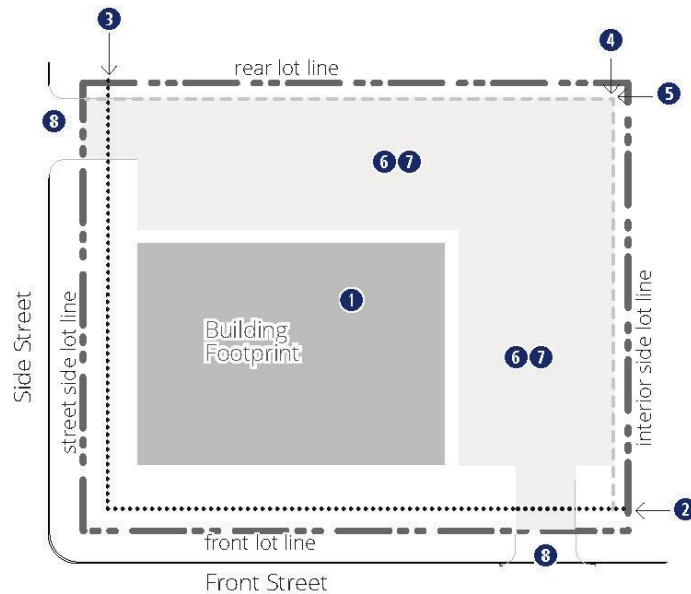


Figure 27-400(6). CX district diagrammatic plan.

D. Supplemental Regulations

- 1. [reserved].